

CITY OF WESTMINSTER			
PLANNING APPLICATIONS SUB COMMITTEE	Date 22 October 2019	Classification For General Release	
Report of Director of Place Shaping and Town Planning		Ward(s) involved Knightsbridge And Belgravia	
Subject of Report	22 Wilton Crescent, London, SW1X 8SA		
Proposal	Erection of extension at lower ground floor level within rear courtyard with garden/terrace above; alterations and installation of trellis to existing first floor terrace; and creation of new terrace and two air conditioning units within an acoustic enclosure at main roof level. Replacement and refurbishment of windows and doors and internal alterations.		
Agent	Mr James Hall		
On behalf of	Mr Conor O Sullivan		
Registered Number	19/06156/FULL 19/06157/LBC	Date amended/ completed	5 August 2019
Date Application Received	5 August 2019		
Historic Building Grade	Grade II		
Conservation Area	Belgravia		

1. RECOMMENDATION

1. Grant conditional permission and conditional listed building consent
2. Agree the reasons for granting listed building consent as set out in Informative 1 of the draft decision letter

2. SUMMARY

22 Wilton Crescent is a grade II listed building within the Belgravia Conservation Area. It comprises basement, ground and three upper floors and is in use as a single family dwelling.

Permission and listed building consent are sought for the erection of an extension within the rear courtyard at lower ground floor level with a terrace above; a new trellis to the existing first floor terrace; and creation of new terrace and two air conditioning units within an acoustic enclosure at main roof level. The application also includes replacement and refurbishment of windows and doors and internal alterations.

The key issues in this case are:

- The impact of the proposed works on the listed building and the character and appearance of the Belgravia Conservation Area;
- The impact of the proposals on neighbouring residential amenity.

The proposed scheme is considered to comply with the Council's policies in relation to historic buildings, design, conservation and amenity as set out in the City Plan and the saved Unitary Development Plan (UDP). The applications are therefore recommended for approval.

3. LOCATION PLAN



4. PHOTOGRAPHS



Front elevation



Rear Courtyard and relationship with No. 12 Wilton Row

5. CONSULTATIONS

BELGRAVIA RESIDENTS ASSOCIATION

Any response to be reported verbally.

BELGRAVIA NEIGHBOURHOOD FORUM

Any response to be reported verbally.

THE BELGRAVIA SOCIETY

Any response to be reported verbally.

ENVIRONMENTAL HEALTH

No objection subject to conditions.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS RECEIVED

No. Consulted: 8

Total No. of replies: 1

No. of objections: 1

No. in support: 0

One objection has been received from a neighbouring resident on the following grounds:

Design

- Proposal is contrary to Policy DES1 Part A as the development is not the highest standards of sustainable and inclusive urban design and architectural quality and it does not improve the quality of adjacent spaces around or between buildings, or show careful attention to definition, scale, use and surface treatment.

Amenity

- Overlooking, loss of privacy and outlook and loss of natural light to neighbouring dwellings.
- Noise and disturbance from the external spaces and plant.

PRESS ADVERTISEMENT / SITE NOTICE:

Yes

6. BACKGROUND INFORMATION

6.1 The Application Site

22 Wilton Crescent is a grade II listed building within the Belgravia Conservation Area. It dates from the early nineteenth century, is faced in Portland stone and forms part of a

crescent of uniform terrace buildings. It comprises basement, ground and three upper floors and is in use as a single family dwelling.

12 Wilton Row immediately to the rear forms a separate single family dwelling house.

6.2 Recent Relevant History

No relevant planning history.

7. THE PROPOSAL

Planning permission and listed building consent are sought for the erection of an extension at lower ground floor level within the rear courtyard with a garden/terrace above; alterations and installation of a trellis to an existing terrace at first floor level; and creation of a new terrace and two air conditioning units within an acoustic enclosure at main roof level. The scheme also includes the replacement and refurbishment of windows and doors and internal alterations on all floor levels.

The application originally included an external staircase to link the new ground floor terrace with the existing first floor terrace and a privacy screen, however, these elements have been deleted on officers' advice.

8. DETAILED CONSIDERATIONS

8.1 Land Use

The proposal is to extend a single family dwellinghouse, the provision of additional accommodation is considered acceptable in principle and is in accordance with Policy S14 of the City Plan and Policy H3 of the UDP.

8.2 Townscape and Design

The proposed works have been assessed against the National Planning Policy Framework (NPPF); policies S25 and S28 of Westminster's City Plan (November 2016); policies DES 1, DES 5, DES 6; DES 9 and DES 10 of our Unitary Development Plan (2007) and the guidance contained within Westminster's 'Repairs and Alterations to Listed Buildings' Supplementary Planning Guidance.

Internal alterations

Internally the building retains much of its original plan form to the principle floors, with the upper floors exhibiting a moderate amount of subdivision and notably an altered secondary staircase, which appears to have been relocated compromising the proportions of the front rooms. The interior has been altered with no obvious original details remaining. The principle staircase and balustrades are however notable original features.

The internal works seeks to retain the existing layout with minor changes to the partitioning throughout the upper floors and removal of modern features such as the columns between the principle rooms on the first floor. The proposals seek where possible to reinstate interior details more in keeping with the age of the building, and it is recommended that the details are secured by condition.

The secondary stair case, which has clearly been altered, exhibits a non-traditional arrangement and design details. The reinstatement of a staircase with a more traditional arrangement and detail is considered a heritage benefit and is not therefore opposed.

External alterations

Proposals include a modest courtyard extension at lower ground floor level, which seeks to retain a reasonable amount of light-well, so as not to overdevelop the basement area. Its contemporary finish will allow the extension to read as an honest and light-weight addition. A new trellis is proposed to the existing terrace at first floor level. It is not considered that these works will harm the special interest of the building.

Rooftop terraces are often contentious due to their potential visual impact, however, it is apparent that several neighbouring properties have established and recently approved terraces at main roof level. The proposed terrace will be set back from the front of the building and delineated by simple metal railings, and its visual impact is therefore likely to be modest and is not therefore considered harmful. To ensure the terrace remains discreet, a condition is suggested which prevent planters and associated roof top clutter. The access to the roof is achieved via a retractable glass roof light which has a modest upstand and is set below the party walls and parapets to limit its impact.

The proposed works do not cause harm to the significance of this listed building or detract from the character and appearance of the Belgravia Conservation Area. Subject to conditions seeking further design details of interior finishes, including the secondary staircase, and external cleaning, the proposed works are recommended for approval.

8.3 Residential Amenity

Policies ENV13 of the UDP and S29 of the City Plan state that the Council will resist proposals that would result in a material loss of daylight/sunlight and that developments should not result in a significant increased sense of enclosure, overlooking or cause unacceptable overshadowing.

One letter of objection has been received from a neighbouring resident on Wilton Crescent on amenity grounds.

The proposed extension within the rear courtyard at lower ground floor level will abut the flank elevation of the neighbouring property at number 23 Wilton Crescent; and it will be below the height of a rear window in 12 Wilton Row located immediately to the rear of the property. It will not therefore cause a loss of light to these properties. A garden/terrace is proposed above the extension at ground floor level which will be in close proximity to the rear window in 12 Wilton Row. The applicant has confirmed that access to the planted area closest to the window will be limited to maintenance only and a condition is recommended to secure a 1.8m high privacy screen between the terrace

and planted area approximately 4m away from the window to protect the privacy of the residents within 12 Wilton Row.

The first floor terrace is an existing outdoor space serving the property which appears to have been in existence for some time (shown in photographs taken from a site visit to an adjoining property in 2013). A 2m high trellis is proposed on the inside of the existing railings along the boundary with 21 Wilton Crescent. 21 Wilton Crescent is a single family dwelling and contains windows in the flank elevation of their rear closet wing at ground floor level, the room to which they serve also appears to be top lit by a rooflight. Whilst the proposed trellis will cause some enclosure to these windows, it will assist in protecting the privacy of these residents from the existing terrace. It is not therefore considered that the trellis could reasonably be refused on amenity grounds.

Given the high-level position of the proposed terrace at main roof level it is not considered that it will result in any significant loss of privacy or overlooking to surrounding residential properties.

Two air conditioning units are proposed within an acoustic enclosure at main roof level. An acoustic report has been submitted in support of the application and Environmental Health officer's have confirmed that the proposed plant is likely to comply with the Council's standard noise conditions.

The proposals are therefore considered acceptable in amenity terms in accordance with policies S29 of the City Plan and ENV13 of the UDP.

8.4 Transportation/Parking

Not applicable.

8.5 Economic Considerations

No economic considerations are applicable for a development of this size.

8.6 Access

The proposed scheme does not alter the existing access to the property.

8.7 Other UDP/Westminster Policy Considerations

None relevant.

8.8 Westminster City Plan

The City Council is currently working on a complete review of its City Plan. Informal consultation on the first draft of Westminster's City Plan 2019-2040 took place between Monday 12 November 2018 and Friday 21 December 2018. Following this informal consultation, the draft plan has been revised and formal consultation is now being carried out under Regulation 19 of the Town and Country Planning Act (Local Planning)

(England) Regulations 2012 between Wednesday 19 June 2019 and Wednesday 31 July 2019. In the case of a draft local plan that has been published for consultation under Regulation 19 of the Town and Country Planning Act (Local Planning) (England) Regulations 2012, including a second revision Regulation 19 plan, it remains at a pre-submission stage (i.e. has yet to be submitted to the Secretary of State for Examination in Public) and therefore, having regard to the tests set out in para. 48 of the NPPF, it will generally attract very limited weight at this present time.

8.9 Neighbourhood Plans

Not applicable.

8.10 London Plan

This application raises no strategic issues.

8.11 National Policy/Guidance Considerations

The City Plan and UDP policies referred to in the consideration of this application are considered to be consistent with the NPPF unless stated otherwise.

8.12 Planning Obligations

Planning obligations are not relevant in the determination of this application.

8.13 Environmental Impact Assessment

The proposal is of insufficient scale to require an environmental assessment.

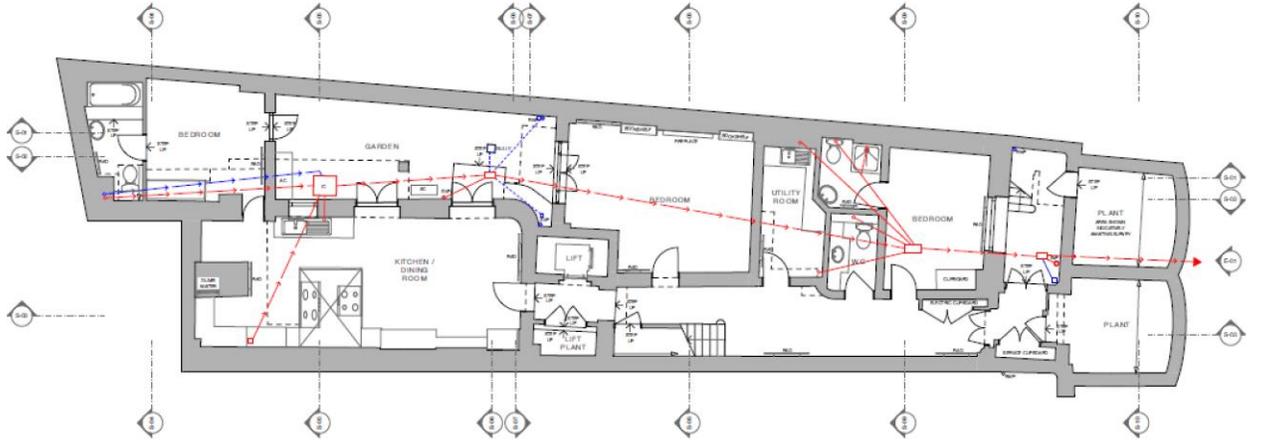
8.14 Other Issues

None relevant.

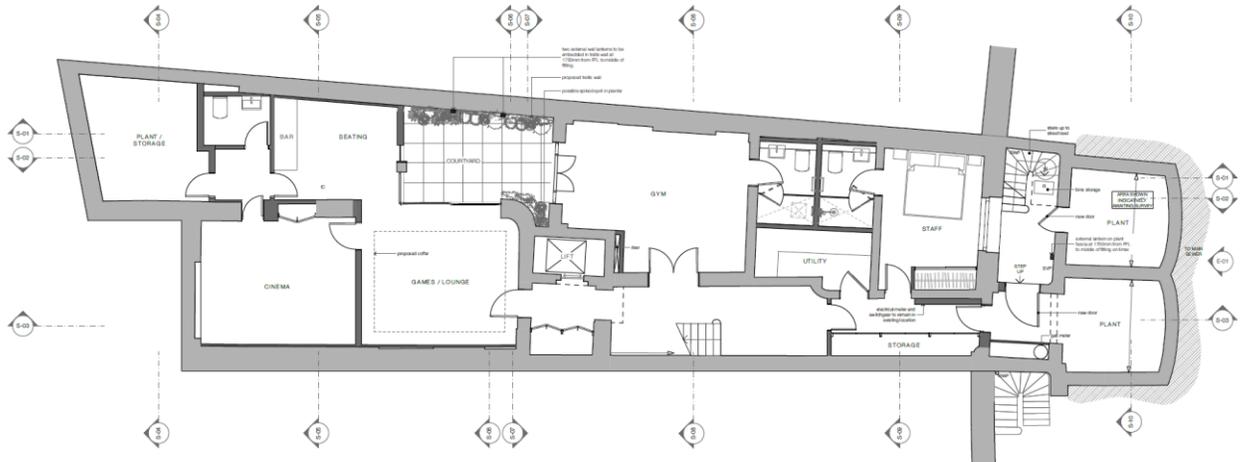
(Please note: All the application drawings and other relevant documents and Background Papers are available to view on the Council's website)

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT PLEASE CONTACT THE PRESENTING OFFICER: **JULIA ASGHAR** BY EMAIL AT **JASGHAR@WESTMINSTER.GOV.UK**

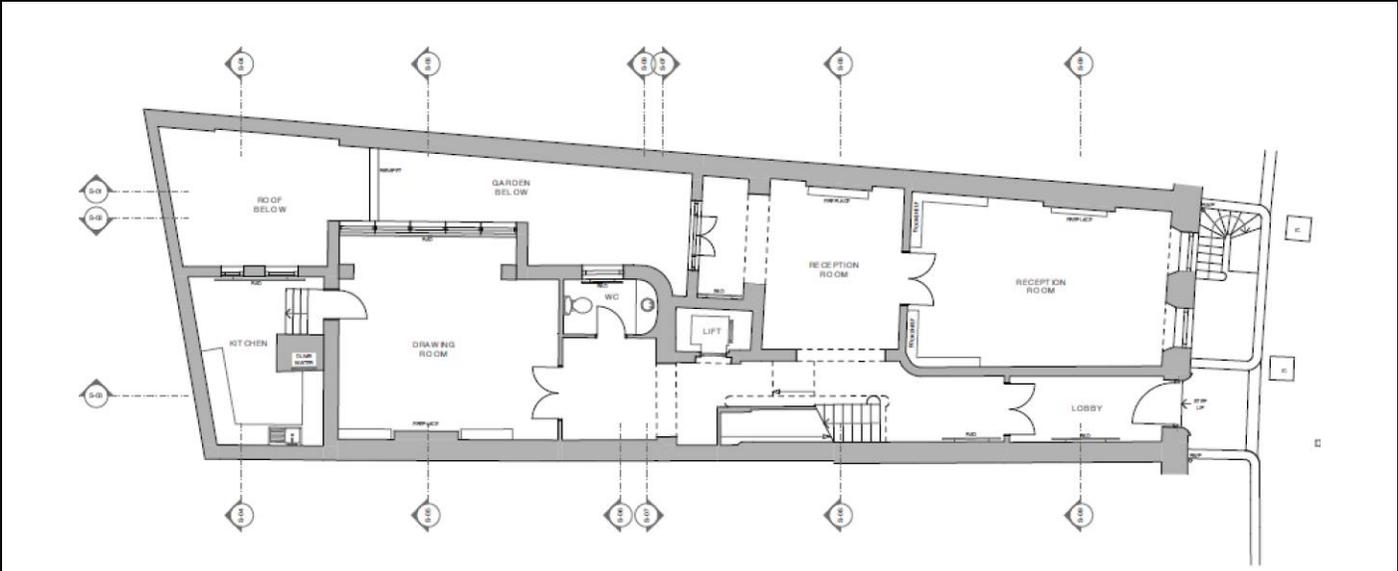
9. KEY DRAWINGS



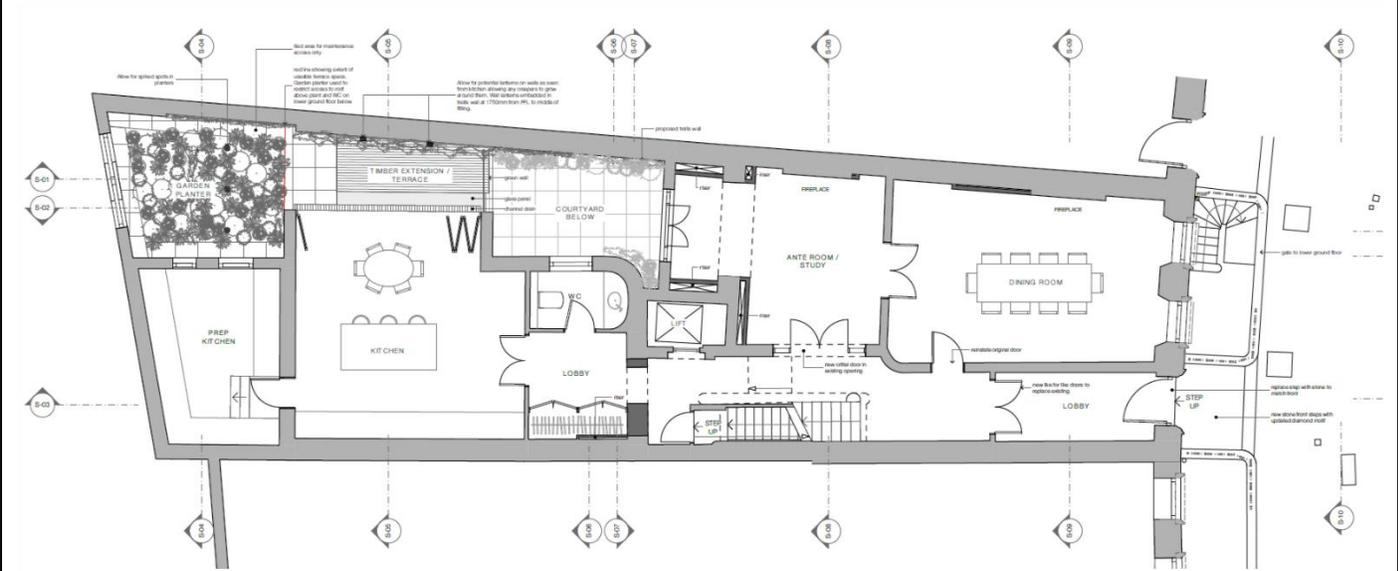
Existing Lower Ground floor plan



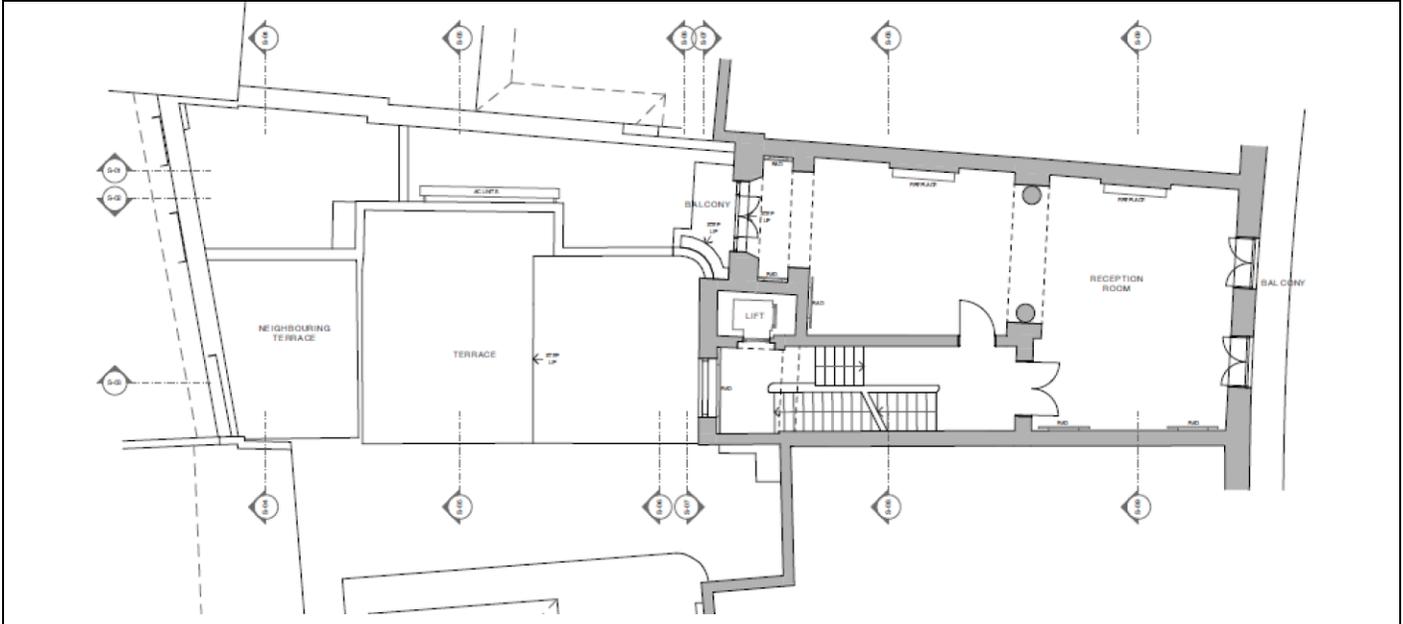
Proposed Lower Ground floor plan



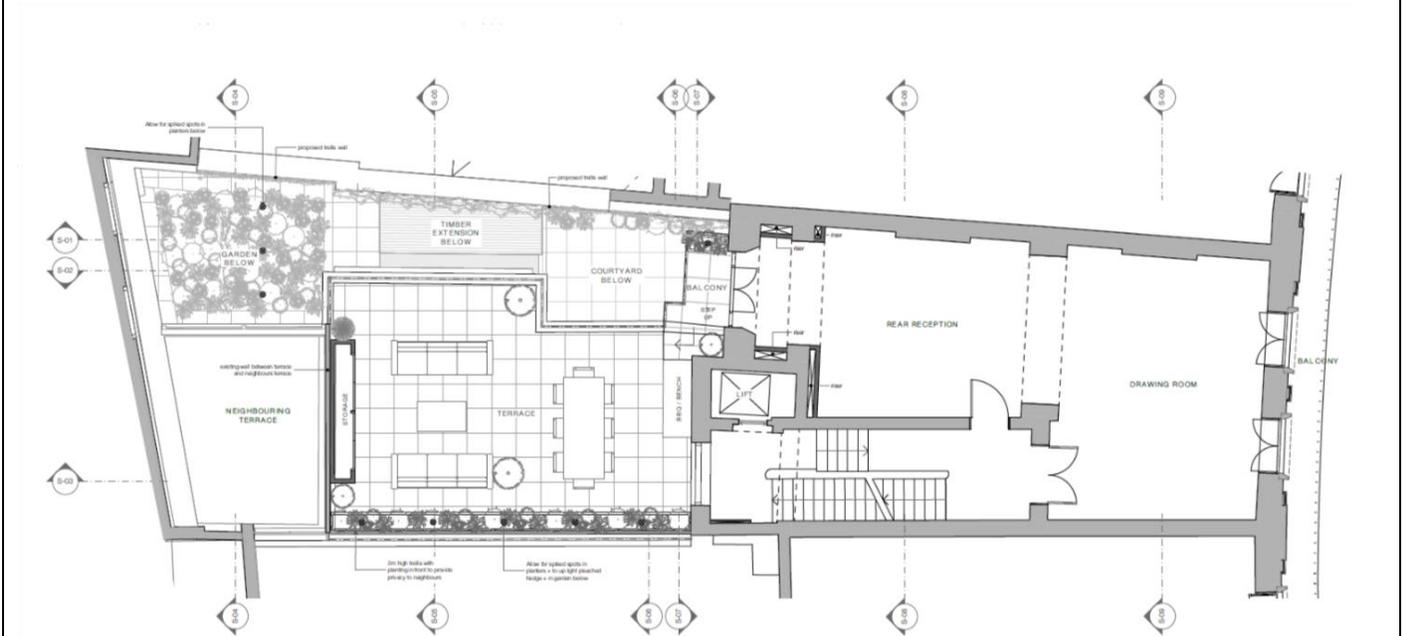
Existing Ground floor plan



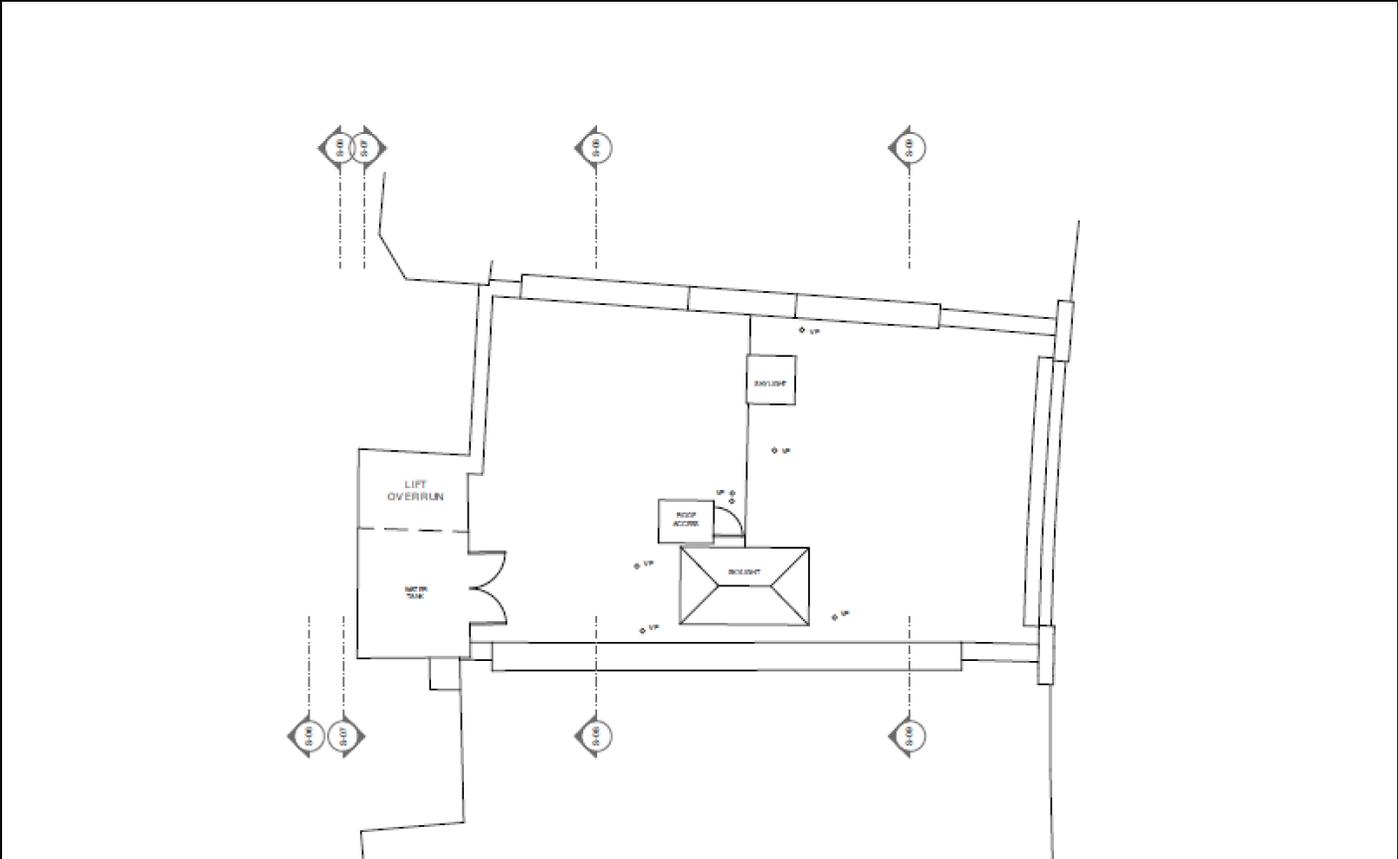
Proposed Ground floor plan



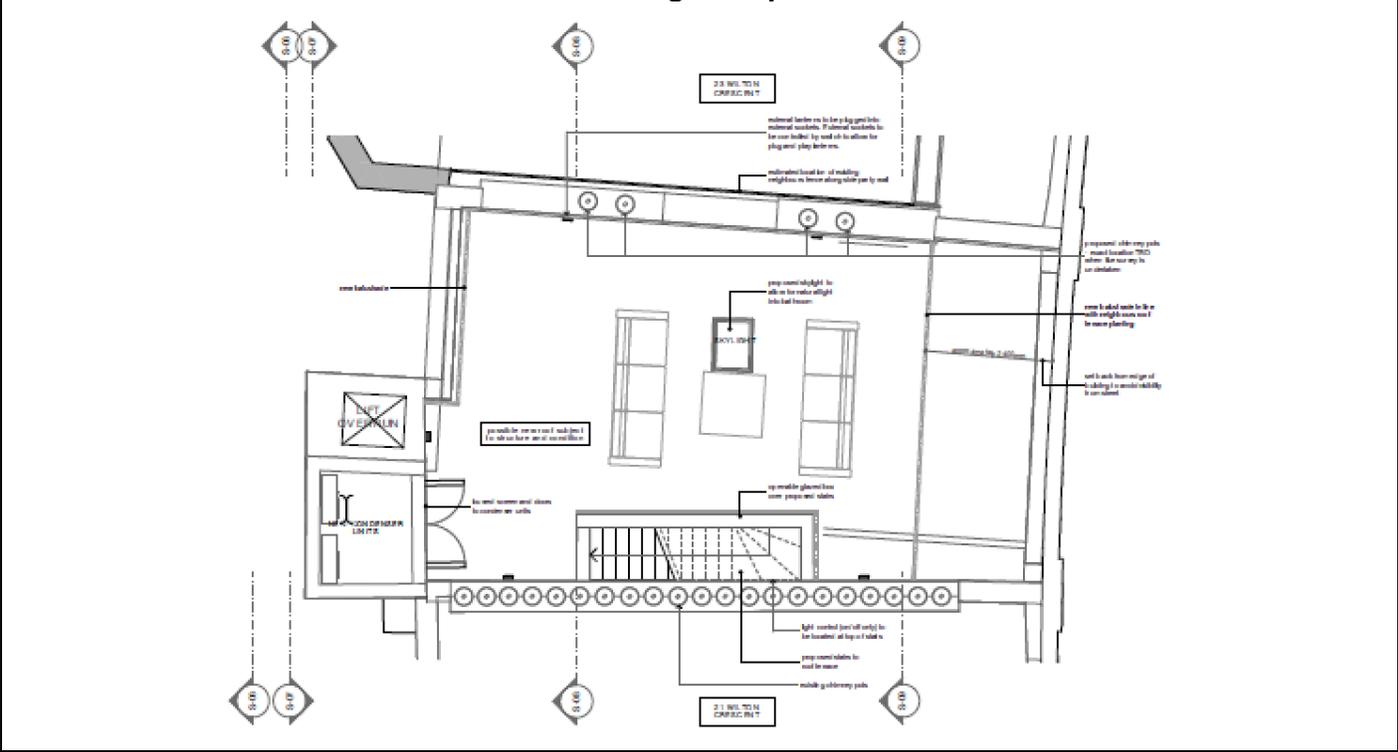
Existing First floor plan



Proposed First floor plan



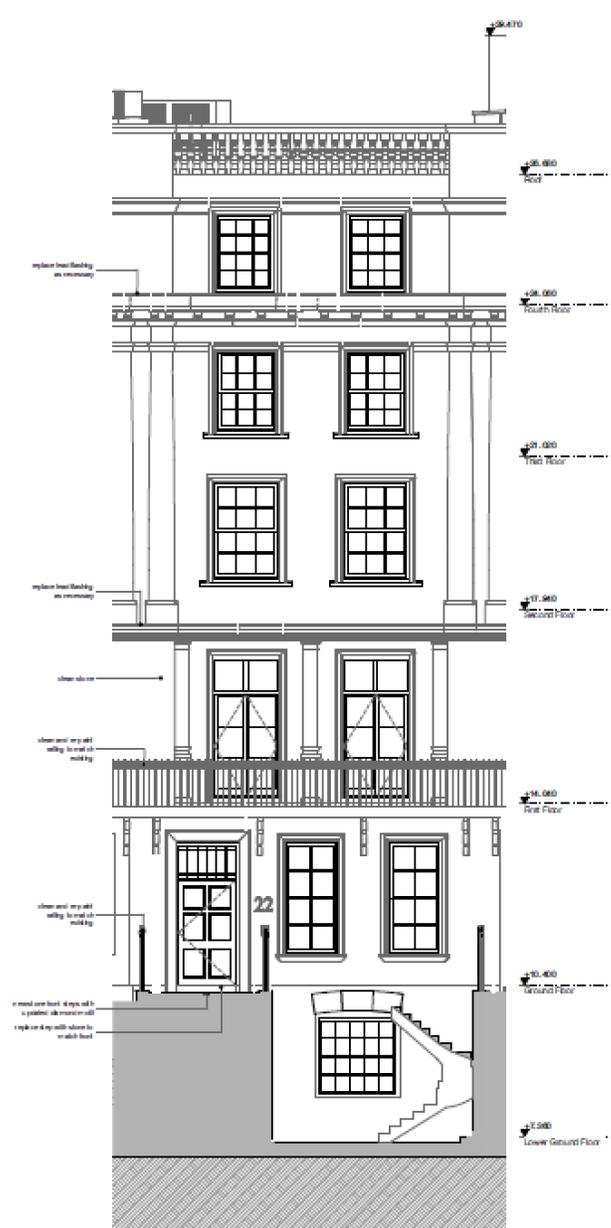
Existing Roof plan



Proposed Roof plan



Existing front elevation



Proposed front elevation

DRAFT DECISION LETTER

Address: 22 Wilton Crescent, London, SW1X 8SA

Proposal: Erection of a rear courtyard extension at lower ground floor level to create a new raised garden and terrace at ground floor level. Alterations and installation of trellises to existing first floor terrace and creation of new roof terrace on main house. Installation of two air conditioning units within an acoustic enclosure at roof level. Replacement and refurbishment of windows and doors.

Reference: 19/06156/FULL

Plan Nos: P001 Rev. P1; P002 Rev. P1; P003 Rev. P1; P004 Rev. P1; P005 Rev. P1; P006 Rev. P1; P007 Rev. P1; P008 Rev. P1; P009 Rev. P1; P010 Rev. P1; P011 Rev. P1; P012 Rev. P1; P013 Rev. P1; P014 Rev. P1; P015 Rev. P1; P016 Rev. P3; P017 Rev. P4; P018 Rev. P4; P019 Rev. P2; P020 Rev. P2; P021 Rev. P2; P022 Rev. P3; P023 Rev. P2; P024 Rev. P1; P025 Rev. P1; P026 Rev. P1; P027 Rev. P1; P028 Rev. P1; P029 Rev. P1; P030 Rev. P1; P031 Rev. P1; P032 Rev. P1; P033 Rev. P1; P034 Rev. P1; P035 Rev. P5; P036 Rev. P5; P037 Rev. P3; P038 Rev. P4; P039 Rev. P2; P040 Rev. P1; Photographs of existing building dated May 2019; Planning compliance review Report 19 409.PCR.01 prepared by KPP acoustics ltd.

FOR INFORMATION ONLY: Window report dated 19 July 2019; Design and access statement dated August 2019; Heritage statement P19-252; Riser detail plans.

Case Officer: Aurore Manceau

Direct Tel. No. 020 7641 7013

Recommended Condition(s) and Reason(s)

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 Except for piling, excavation and demolition work, you must carry out any building work which can be heard at the boundary of the site only:
 - o between 08.00 and 18.00 Monday to Friday;
 - o between 08.00 and 13.00 on Saturday; and
 - o not at all on Sundays, bank holidays and public holidays.

You must carry out piling, excavation and demolition work only:

- o between 08.00 and 18.00 Monday to Friday; and
- o not at all on Saturdays, Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours unless otherwise agreed through a Control of Pollution Act 1974 section 61 prior consent in special circumstances (for example, to meet police traffic restrictions, in an emergency or in the interests of public safety). (C11AB)

Reason:

To protect the environment of residents and the area generally as set out in S29 of Westminster's City Plan (November 2016) and STRA 25, TRANS 23, ENV 5 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC),

- 3 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:

To protect the special architectural or historic interest of this listed building and to make sure the development contributes to the character and appearance of the Belgravia Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1, DES 10 (A) and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26FD)

- 4 You must apply to us for approval of detailed drawings of the following parts of the development:
- i) New windows (elevation and sections scaled 1:10);
 - ii) ii) New doors and surrounds (elevation at 1:20 and section details scaled 1:5)
 - iii) Detailed drawings of metal railings (elevation at 1:20 and section details scaled 1:5).

You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these approved drawings.

Reason:

To protect the special architectural or historic interest of this listed building and to make sure the development contributes to the character and appearance of the Belgravia Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1, DES 10 (A) and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26FD)

- 5 You must apply to us for approval of samples of stone for the front entrance steps. You must not start work on the relevant part of the development until we have approved in writing what you have sent us. You must then carry out the work using the approved materials.

Reason:

To protect the special architectural or historic interest of this listed building and to make sure the development contributes to the character and appearance of the Belgravia Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1, DES 10 (A) and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26FD)

- 6 (1) Where noise emitted from the proposed plant and machinery will not contain tones or will not be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 10 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.
- (2) Where noise emitted from the proposed plant and machinery will contain tones or will be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 15 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.
- (3) Following installation of the plant and equipment, you may apply in writing to the City Council for a fixed maximum noise level to be approved. This is to be done by submitting a further noise report confirming previous details and subsequent measurement data of the installed plant, including a proposed fixed noise level for approval by the City Council. Your submission of a noise report must include:
- (a) A schedule of all plant and equipment that formed part of this application;
 - (b) Locations of the plant and machinery and associated: ducting; attenuation and damping equipment;
 - (c) Manufacturer specifications of sound emissions in octave or third octave detail;
 - (d) The location of most affected noise sensitive receptor location and the most affected window of it;
 - (e) Distances between plant & equipment and receptor location/s and any mitigating features that may attenuate the sound level received at the most affected receptor location;
 - (f) Measurements of existing LA90, 15 mins levels recorded one metre outside and in front of the window referred to in (d) above (or a suitable representative position), at times when background noise is at its lowest during hours when the plant and equipment will operate. This acoustic survey to be conducted in conformity to BS 7445 in respect of measurement methodology and procedures;
 - (g) The lowest existing L A90, 15 mins measurement recorded under (f) above;
 - (h) Measurement evidence and any calculations demonstrating that plant and equipment complies with the planning condition;
 - (i) The proposed maximum noise level to be emitted by the plant and equipment.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan (November 2016), by contributing to reducing excessive ambient noise levels. Part (3) is included so that applicants may ask subsequently for a fixed maximum noise level to be approved in case ambient noise levels reduce at any time after implementation of the planning permission. (R46AB)

- 7 No vibration shall be transmitted to adjoining or other premises and structures through the building structure and fabric of this development as to cause a vibration dose value of greater than 0.4m/s (1.75) 16 hour day-time nor 0.26 m/s (1.75) 8 hour night-time as defined by BS 6472 (2008) in any part of a residential and other noise sensitive property.

Reason:

As set out in ENV6 (2) and (6) of our Unitary Development Plan that we adopted in January 2007, to ensure that the development is designed to prevent structural transmission of noise or vibration. (R48AA)

- 8 You must apply to us for approval of detailed drawings showing the following alteration to the scheme:

- A 1.8m high privacy screen between the planted area and the usable terrace at ground floor level (approximately 4m away from the window in 12 Wilton Row).

You must use the roof as a terrace until we have approved what you have sent us. You must then carry out the work according to the approved drawings and retain the screen thereafter.

Reason:

To protect the privacy and environment of people in neighbouring properties. This is as set out in S29 and S32 of Westminster's City Plan (November 2016) and ENV 6 and ENV 13 of our Unitary Development Plan that we adopted in January 2007. (R21BC)

- 9 You must not use the planted garden area at ground floor level as shown on drawing P017 Rv. P2 for sitting out or for any other purpose. You can however access it for maintenance purposes.

Reason:

To protect the privacy and environment of people in neighbouring properties. This is as set out in S29 and S32 of Westminster's City Plan (November 2016) and ENV 6 and ENV 13 of our Unitary Development Plan that we adopted in January 2007. (R21BC)

- 10 Only the windows to the rear wing can have their glazing changed to slim double glazing.

Reason:

To protect the special architectural or historic interest of this listed building and to make sure the development contributes to the character and appearance of the Belgravia Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1, DES 10 (A) and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26FD)

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan (November 2016), Unitary Development Plan, neighbourhood plan (where relevant), supplementary planning documents, planning briefs and other informal written guidance, as well

as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.

- 2 Please make sure that the lighting is designed so that it does not cause any nuisance for neighbours at night. If a neighbour considers that the lighting is causing them a nuisance, they can ask us to take action to stop the nuisance (under section 102 of the Clean Neighbourhoods and Environment Act 2005). (I39AA)
- 3 If you wish to install louvres to the doors serving the front vault, you will need to apply for planning permission and submit an acoustic report demonstrating that the plant at this location will not cause noise nuisance to neighbouring residential properties.

Please note: the full text for informatives can be found in the Council's Conditions, Reasons & Policies handbook, copies of which can be found in the Committee Room whilst the meeting is in progress, and on the Council's website.

DRAFT DECISION LETTER

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FOR INFORMATION ONLY: Window report dated 19 July 2019; Design and access statement dated August 2019; Heritage statement P19-252; riser detail plans.

Case Officer: Aurore Manceau

Direct Tel. No. 020 7641 7013

Recommended Condition(s) and Reason(s)

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 All new work and improvements inside and outside the building must match existing original adjacent work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the approved drawings or are required in conditions to this permission. (C27AA)

Reason:

To protect the special architectural or historic interest of this building and to make sure the development contributes to the character and appearance of the Belgravia Conservation Area. This is as set out in

S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R27AC)

3 You must apply to us for approval of detailed drawings of the following parts of the development:

- i) New windows (elevation and sections scaled 1:10);
- ii) Replacement interior finishes: cornices, skirtings, panelling
- iii) New doors and surrounds (elevation at 1:20 and section details scaled 1:5);
- iv) New fire surrounds (elevation at 1:20 and section details scaled 1:5);
- v) New secondary staircase section detail showing profiles of the steps, balustrading and handrail (elevation at 1:20 and section details scaled 1:5);
- vi) Detailed drawings of metal railings (elevation at 1:20 and section details scaled 1:5).

You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these approved drawings.

Reason:

To protect the special architectural or historic interest of this building and to make sure the development contributes to the character and appearance of the Belgravia Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R27AC)

4 You must apply to us for approval of samples of stone for the front entrance steps. You must not start work on the relevant part of the development until we have approved in writing what you have sent us. You must then carry out the work using the approved materials.

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Belgravia Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

5 You must apply to us for approval of details of the following parts of the development:

- i) Cleaning Method Statement - a none abrasive method to be used
- ii) Sample panel of cleaning to be approved on site.

You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these details. (C26DB)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BD)

- 6 New cornicing, skirting and interior details around the risers must match existing details.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BD)

- 7 You must not disturb existing ornamental features including chimney pieces, plasterwork, architraves, panelling, doors and staircase balustrades. You must leave them in their present position unless changes are shown on the approved drawings or are required by conditions to this permission. You must protect those features properly during work on site. (C27KA)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BD)

- 8 Only the windows to the rear wing can have their glazing changed to slim double glazing.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BD)

Informative(s):

- 1 SUMMARY OF REASONS FOR GRANTING CONDITIONAL LISTED BUILDING CONSENT - In reaching the decision to grant listed building consent with conditions, the City Council has had regard to the relevant policies in the National Planning Policy Framework, the London Plan 2016, Westminster's City Plan (November 2016), and the City of Westminster Unitary Development Plan adopted January 2007, as well as relevant supplementary planning guidance, representations received and all other material considerations., , The City Council decided that the proposed works would not harm the special architectural and historic interest of this listed building., , In reaching this decision the following were of particular relevance:., S25

and S28 of Westminster's City Plan and DES 10 including paras 10.130 to 10.146 of the Unitary Development Plan, and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings.

- 2 You will need to contact us again if you want to carry out work on the listed building which is not referred to in your plans. This includes:
- * any extra work which is necessary after further assessments of the building's condition;
 - * stripping out or structural investigations; and
 - * any work needed to meet the building regulations or other forms of statutory control.

Please quote any 'TP' and 'RN' reference numbers shown on this consent when you send us further documents.

It is a criminal offence to carry out work on a listed building without our consent. Please remind your client, consultants, contractors and subcontractors of the terms and conditions of this consent. (I59AA)

Please note: the full text for informatives can be found in the Council's Conditions, Reasons & Policies handbook, copies of which can be found in the Committee Room whilst the meeting is in progress, and on the Council's website.